

B.



CYPRESS COVE

of Jupiter

ARCHITECTURAL GUIDELINES

CYPRESS COVE OF JUPITER
ARCHITECTURAL CONTROL GUIDELINES

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- 2.0 Summary of Design Review Process and Application Forms
- 3.0 Building Siting and Landscaping
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CYPRESS COVE OF JUPITER PLANNED UNIT DEVELOPMENT

ARCHITECTURAL CONTROL GUIDELINES

1.01

In order to preserve and uphold the high standards of the Cypress Cove of Jupiter Community, the Architectural Review Board has established Guidelines for the Architectural Style and Landscaping within the community. The ARB does not seek to restrict individual taste or preferences. Its goal is to avoid harsh contrasts in the landscape and architectural themes and to foster good design so that there is a harmony between respective buildings the landscape and the site.

The Architectural Control Guidelines, here after referred to as the Guidelines are in addition to the covenants and servitudes of Cypress Cove of Jupiter and are intended to complement, not replace the existing deed restrictions. The Architectural Review Board in review of the plans submitted, intends to be fair and objective in the design review process. The primary goal of the ARB is to uphold the value and standards of the community by establishing Guidelines which encourage good design and the use of quality lasting materials which blend harmoniously with the community.

1.02

All applicants are required to submit plans and specifications in triplicate for final approval. It is suggested, though not mandatory, that applicants submit documents in their preliminary form for preliminary review. This will allow the applicant the opportunity to communicate with the ARB in concept and basic form prior to investing in fully detailed architectural and engineering documents.

The ARB will act on matters presented within a period of 30 days and in all cases will make every effort to expedite review of applications sooner. In no case shall construction or landscaping commence prior to ARB's approval. After the fact, approvals will not be granted by the Architectural Review Board.

The ARB may act on applications submitted by noting:

- approved
- approved as noted (with minor comments)
- not approved, revise and resubmit

After the Architectural Review Board has reviewed and issued final approval, the ARB will return one set of documents to the Owner with appropriate comments. The Architectural Review Board will establish a file for each lot requesting ARB's approval. All correspondence documentation of subsequent approvals or notices of violation in conflict herewith, will be kept as a part of permanent records.

All approvals shall be effective for a period of five months from date of approval, at which time it will expire unless construction has commenced and continued in the normal course of construction. Expired application must be resubmitted to the Architectural Review Board along with a new fee. It should not be assumed that previously approved applications will be automatically approved. The ARB will review all application in regards to the facts and circumstances existing at the time.

In the event that the Architectural Review Board shall fail to approve or deny the plans and specifications submitted in the complete form within 30 days after request for approval, then such approval by the Architectural Review Board shall not be required. This does not, however, negate any of the requirements of the covenants and servitudes of the development.

1.03

If an application has been denied, or if the applicant believes the conditions or comments of approval to be unjust, he may request a meeting before the full Architectural Review Board. Appeals must be made in writing, stipulating all applicable facts, within two weeks.

Written request shall stipulate if a meeting of the full ARB is desired. The applicant will be notified of the time and place of the meeting.

1.04

Application Fees - An application fee must accompany all applications for Design Review. Fees are based on the following schedule.

	<u>Prelim.</u> <u>Review</u>	<u>Final</u> <u>Review</u>	<u>Total</u> <u>Fee</u>
o <u>Single Family Residence</u>			
o New construction	\$25.00	\$350.00	\$350.00

The Architectural Review fee for new home construction includes the cost of a standard mailbox which shall be supplied by the Homeowners' Association. Mailboxes will be provided at time of the issuance of the final Certificate of

Compliance. Mailboxes are of the design shown in figure 7.2 of this document. Mailbox units will be available at a reasonable location for pick up and installation by the Homeowner.

Note: Each mail box contains a light to illuminate the house address which is designed integral to the box. It is the owner's responsibility to provide electrical power and a photocell to the mailbox.

- | | | | |
|---|--|---------|------------------------------|
| o | Remodeling, change in color or exterior finish | \$25.00 | \$25.00 |
| o | Pool or screen enclosure addition | \$25.00 | \$25.00 |
| o | Decks, spas, trellis or fencing | \$25.00 | \$25.00
(per application) |

1.05

Compliance during construction and final construction approval is mandatory.

Periodic inspections of construction in progress may be made by the Architectural Review Board to determine compliance with the approved plans. The ARB is empowered to enforce its guidelines as set forth in the deed restrictions. At the completion of the project, a final inspection will be made to verify compliance with the approved plans.

If construction is determined to be in complete compliance with the plans, specifications and applicable deed restrictions, a certificate of approval will be issued to the applicant with a copy retained in the project/lot file. In the event the construction is found to be inconsistent, the applicant will be issued written notification outlining comments or deficiencies.

Applicants must provide a minimum of seven days notice for request for final inspection or reinspection. Appeal shall be resolved as indicated in Section 1.03 of this document.

1.06 Builder Qualifications

Unless specifically approved by the Architectural Review Board, all homes shall be constructed by a Florida Certified General Contractor licensed to work in Palm Beach County and the Town of Jupiter. The Architectural Review Board will consider the Contractor Qualifications.

Accompanying all applications for Architectural Review Board approval, the Owner shall submit:

- a. a copy of the builder's General Contractor's license
- b. a completed Builder's Qualifications data sheet.
- c. evidence of the builder's financial ability to complete the project.

Owner builders are permitted with specific approval by the ARB notwithstanding the requirements of items B & C above.

2. SUMMARY OF DESIGN REVIEW PROCESS

2.01

Step One: By Owner - Preliminary Review (Optional)

Owner must submit three sets of plans consisting of:

- a. application form and letter requesting approval
- b. site plan and survey (survey to indicate all existing tree species over 4" in caliper)
- c. landscape plan
- d. exterior elevations of structure
- e. building cross section
- f. colors and exterior material list
- g. applicable specifications

2.02

Step Two: By Architectural Review Board

The ARB will review the preliminary submittal and report to the Owner with a written determination of its findings within 30 days.

2.03

Step Three: By Owner, Final Review

Owner must submit three sets of plans consisting of the following:

- ~~1~~. application form and letter requesting approval
- ~~2~~. Builder's Qualifications work sheet
- ~~3~~. site plan and survey (showing existing trees)
- ~~4~~. landscape plan (listing all materials, sizes and spacing)
- ~~5~~. exterior elevations of structure
- ~~6~~. building cross section
- g. exterior colors, materials and finishes including color chips, roof sample and/or other applicable information.
- h. applicable specifications

2.04

Step Four: By Architectural Review Board

Within 30 days, the Architectural Review Board will review the application and issue final approval, approval with conditions or denial with request for resubmittal. If denied, the ARB will outline, in writing, any deficiencies with measures that can be taken to satisfy the ARB's concerns.

One set of approved plans, noted appropriately, will be returned to the Owner; one set will be filed in the permanent lot file for the project and the third will be retained by the Architectural Review Board until final approval at which time, it will be returned to the Owner along with the certificate of final construction approval.

2.05

Step Five: Building Permit by Owner

After approval of final plans by the Architectural ARB, the Owner shall submit the approved plans and specifications to the Town of Jupiter, and/or other agencies having jurisdiction over the scope of the work.

2.06

Step Six: By Owner

The Owner starts construction.

2.07

Step Seven: Final Inspection

The Owner notifies the Architectural Review Board in writing within at least 7 days prior notice that all work has been performed and requests final inspection.

The Architectural Review Board will make a field inspection to the residence to evaluate compliance with the approved plans. If it is determined by the Architectural Review Board that the construction has been completed with substantial compliance with the approved plans, a Certificate of Compliance will be issued.

APPLICATION FOR FINAL COMPLIANCE CERTIFICATE

Cypress Cove of Jupiter
Architectural Review Board

Re: Cypress Cove of Jupiter
Lot No. _____

Gentlemen:

We are attaching hereto a copy of the Certificate of Occupancy
from the Building Department of the Town of Jupiter for the
improvement at _____

In accordance with Section 1.05 of the Architectural Guidelines
we hereby request an inspection for compliance with said section.

Very truly yours,

DEH#25:cypress3

3.00

o Building Siting and Landscaping

Homes should be sited to best complement the architecture and to take advantage of prevailing breezes, sun orientation, lake view and to facilitate the preservation of existing vegetation. It is encouraged that homes be designed and configured for each individual lot.

o Minimum setbacks - Single Family

Front yard minimum setback shall be	25 feet
Side yard minimum setback shall be	7.5 feet
Side yard/corner minimum setback shall be	15 feet
Rear yard minimum setback shall be	15 feet

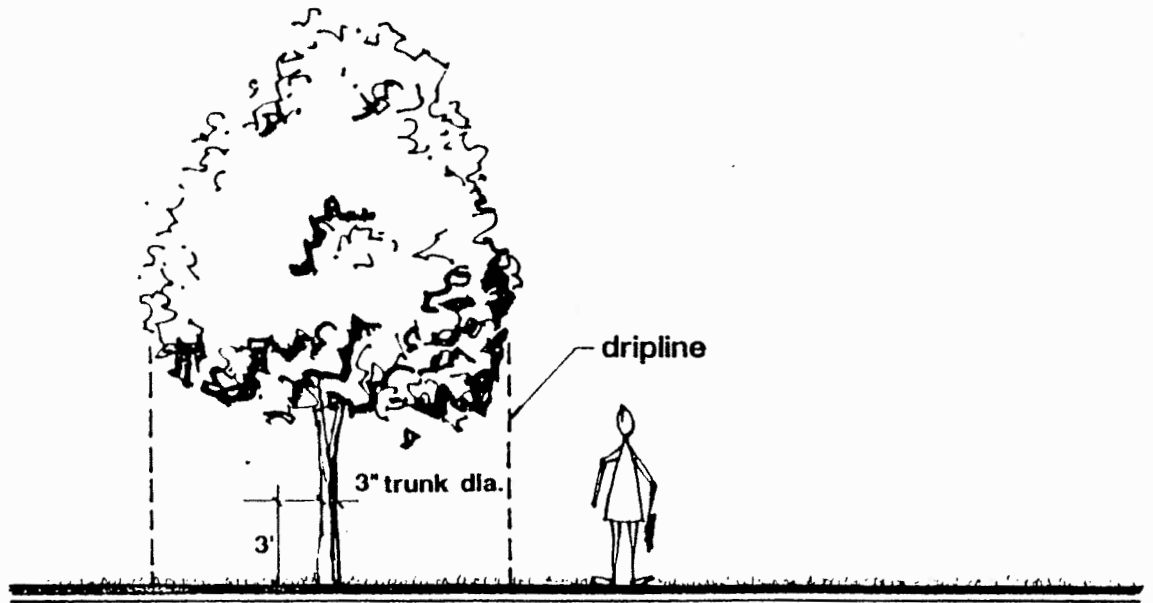
o Swimming Pools, Decks and Spas

- Rear yard setback for swimming pools	10.5 feet
- Screened enclosures	10.5 feet
- Rear yard setback for spas	10.5 feet
- Rear yard setback for patios, concrete or wood decks	5.5 feet
- Side yard setback for all the above	7.5 feet

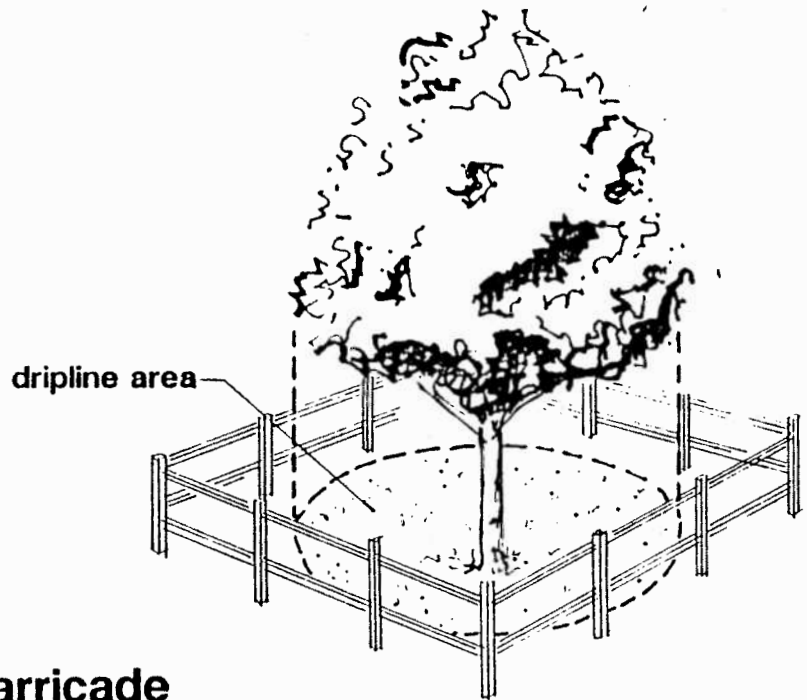
3.01

o Tree Preservation (see figure 3.01-1)

The Architectural Review Board encourages the preservation of all trees and native vegetation. Native vegetation, trees, and understory plants should be integrated into the landscape plan. The Architectural Review Board can issue credits on the number of total trees required if trees are preserved. At a minimum all trees four inches in caliber or greater shall require Architectural Review Board approval prior to removal.

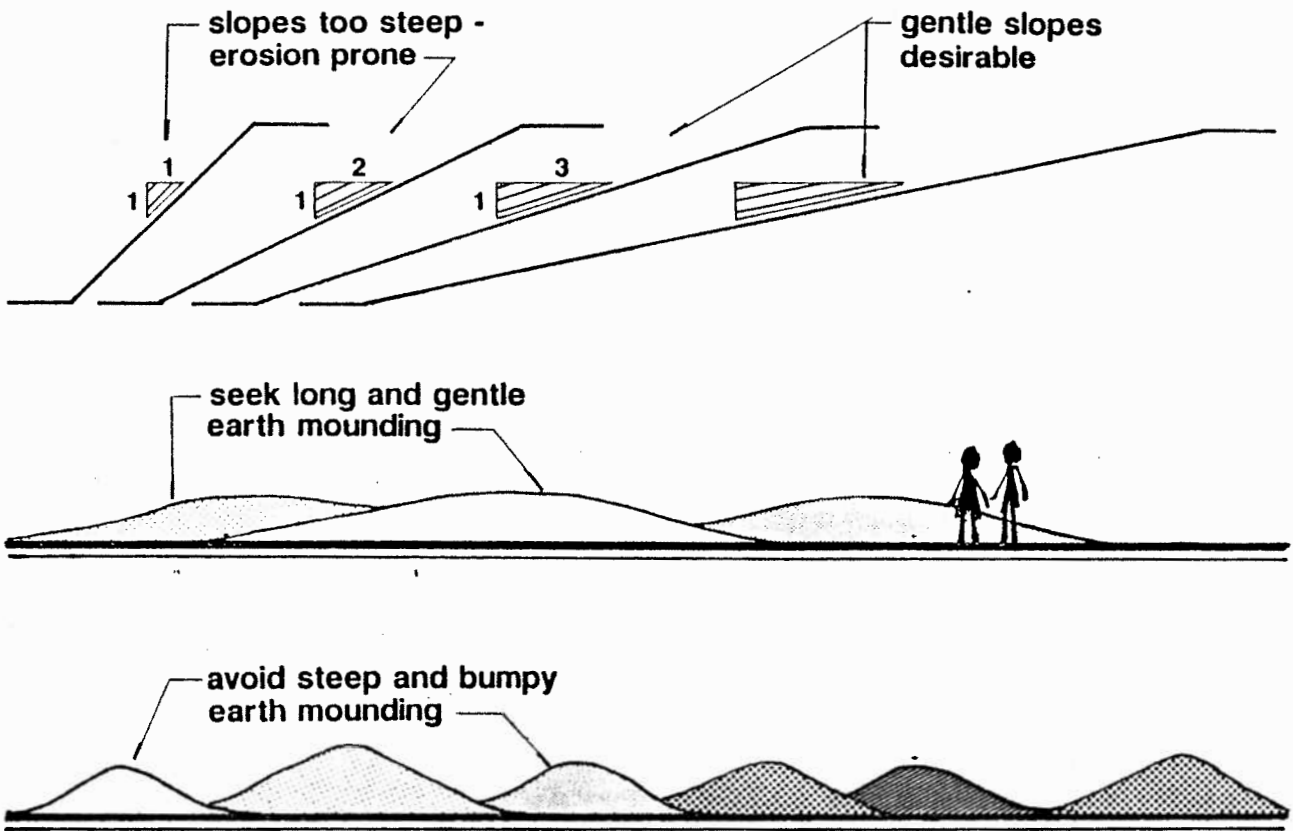


tree preservation criterion



protective barricade

tree preservation



earth mounding

3.02

o Finish Floor Elevation

The finish floor elevation for single family homes shall be governed by the Town of Jupiter and Palm Beach County and the SFWMD. The building pad for home sites must be filled within 6 inches of minimum grade by the Developer. As a guide, homes shall be 18"-24" above the crown of the center line of the road at their lot. Desired finish floor elevation greater than 24" above the road shall be specifically addressed on the application form for evaluation by the Architectural Review Board.

3.03

Site Grading and Earth Mounding (see figure 3.03-1)

Home sites should be graded to visually harmonize with the surrounding grades, provide for site drainage, and facilitate the preservation of existing vegetation. The use of earth mounding is encouraged, however, no fill for the purpose of earth mounding should be placed within the drip line of existing Oaks, Pine trees, or drainage swalls. Earth mounds should be utilized to create or reinforce spatial content of the yard as well as to reduce the scale of the house from the ground to the eve. Slopes on mounds should be long and gentle and shall not exceed 1:4 ratio.

All drainage should be self contained; no water should be allowed to drain on other properties except as in accordance with the engineering plans for the community.

3.04

Storm water drainage shall be designed to drain in accordance with the master drainage plan for Cypress Cove of Jupiter. In no case shall drainage patterns be altered such that water drain into adjacent property or lot. The Architectural Review Board may require modifications to building floor elevations, earth mounding or site grading if impacts to surrounding homeowners are evidenced.

4.04

Recommended Planting Concept

Single family homes are predominately seen from the front, generally from cars passing by or neighbors strolling the street. The plant philosophy developed for Cypress Cove of Jupiter emphasizes the landscape in the front of the home. Seventy-five percent of the minimum landscaping should be in the street one-half of the lot. (See figure 4.05 2&3.)

4.05

Landscape Design Consideration (see figures 4.05 1-5)

- 4.05.1 75% of the minimum landscape should be in the front half of the lot.
- 4.05.2 Use foundation planting in simple plant masses of few materials. Avoid being over complex.
- 4.05.3 Use sweeping curvilinear planting beds.
- 4.05.4 Place trees, shrubs and earth mounds to complement architecture of the home and to create outdoor space.
- 4.05.5 Use feature plants and smaller trees around the front entry and highly trafficked area(s) to create interest in and provide for scale.
- 4.05.6 Use palms where you need immediate height and want a translucent view.
- 4.05.7 Avoid the appearance of isolated planting islands.
- 4.05.8 Be creative with the front walkway, use curves, steps or perhaps pavers.
- 4.05.9 Ninety percent of all plant material must be tolerant of temperatures below 32 degrees for a period up to 12 hours.
- 4.05.10 The use of annual planting beds is recommended as an alternative source of color.
- 4.05.11 A minimum of two shade trees shall be placed in the rear yard. Place trees to enframe views or create shade.
- 4.05.12 Avoid the use of straight hedges in foundation plantings.

4.0 MINIMUM LANDSCAPE REQUIREMENTS

4.01

Minimum Dollar Requirement:

- 4.01.1 As a guideline, the landscaping for single family home shall consist of a minimum dollar expenditure of \$8,000 including the cost of sod and irrigation. The minimum dollar cost may be adjusted from time to time in accordance with the Declarations.
- 4.01.2 The cost shall be considered the average cost available from recognized local landscape contractors currently licensed and practicing in Palm Beach and Martin Counties.

4.02

Minimum Tree Planting Requirement

At a minimum, each lot shall contain seven shade trees of minimum size of 12 feet with a six foot spread at the time of planting conforming to the Standards of Grades and Standards of Nursery Plants Vol. 1&2 Florida Department of Agriculture. All trees shall conform to Florida Grade #1 or better.

- 4.02.1 Two palms, 12 foot minimum height clear trunk may be substituted to meet the minimum tree planting requirement.

4.03

Street Trees (see figure 4.05-1&2)

In order to foster a tree line on streets throughout the Cypress Cove of Jupiter Development, one shade tree, 12 foot in height with a six foot spread shall be planted in the road right-of-way fronting each lot between the edge of the street and the sidewalk. Street trees shall be planted for each 50 lineal feet of each lot beginning 12 feet from the left of the right property boundary.

The street tree shall be of the species "Quericus virginiana."

4.05.13 All air conditioning units and pool equipment must be screened with landscape materials 30 inches in height at the time of planting or fencing of the approved designs for Cypress Cove of Jupiter.

4.06

Plant Material Selection

The use of cold hardy plant materials is encouraged. Only plants acclimated to the Northern Palm Beach County/Martin County climate should be utilized.

4.07

Replacement of Frost Damaged and Dead Material

Plant material killed from frost, draught or other cause of death, must be replaced within six months.

undesirable planting concept

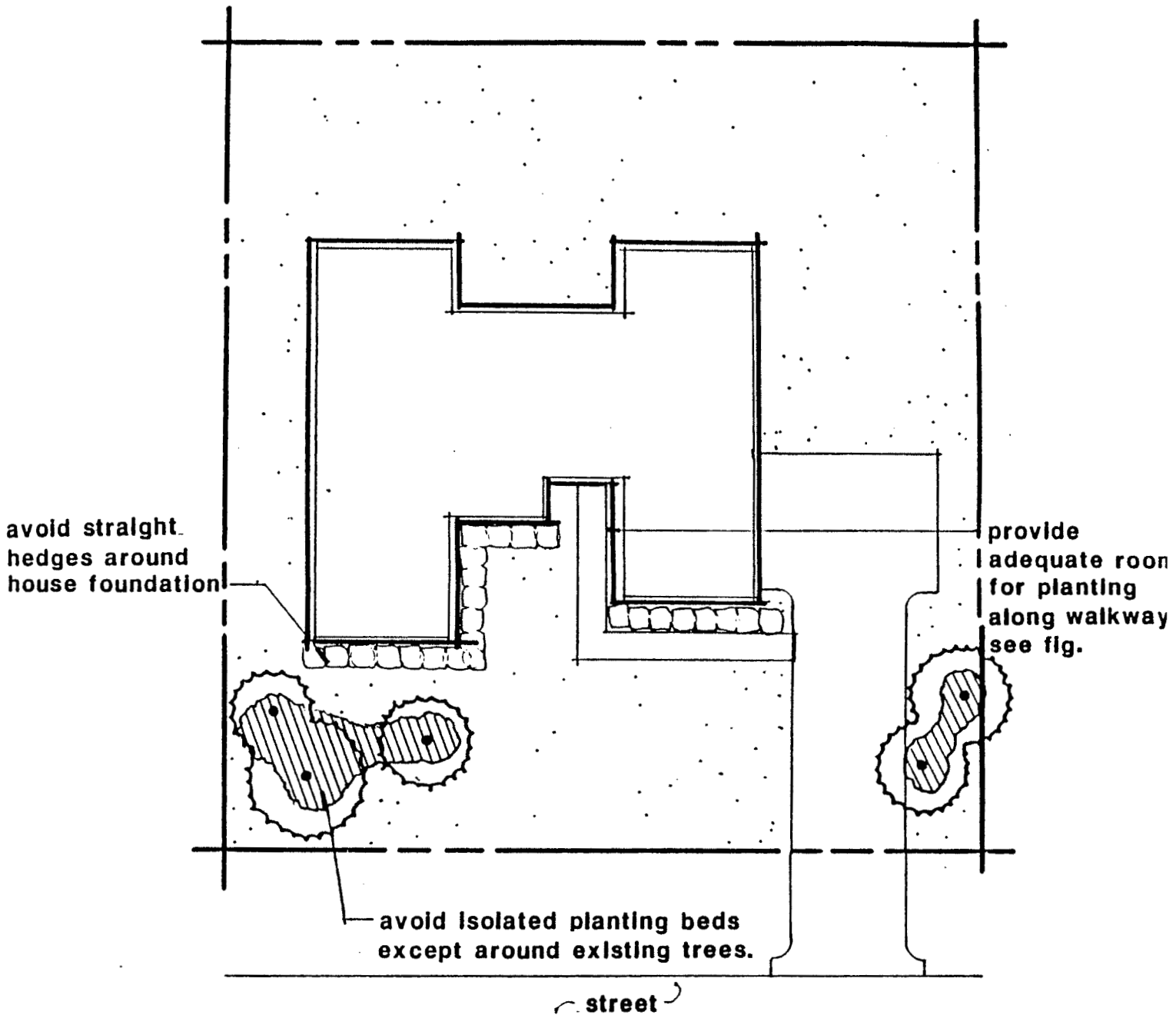


figure 4.05-1

5.0 DRIVEWAYS

Driveways for single family homes are encouraged to be of the side entry garage configuration. The use of pavers, paver blocks or decorative stamped concrete throughout the community is encouraged. At a minimum, all drives shall consist of poured concrete with scored joints. Score concrete joints at a 4' x 4' interval or smaller. All driveways to have control joints at 30 foot centers maximum.

5.01

Driveway Flare

To provide for a uniform standard all driveways flare shall conform to the approved driveway flare detail. (See figure 5.01-1&2.)

typical driveway flare detail

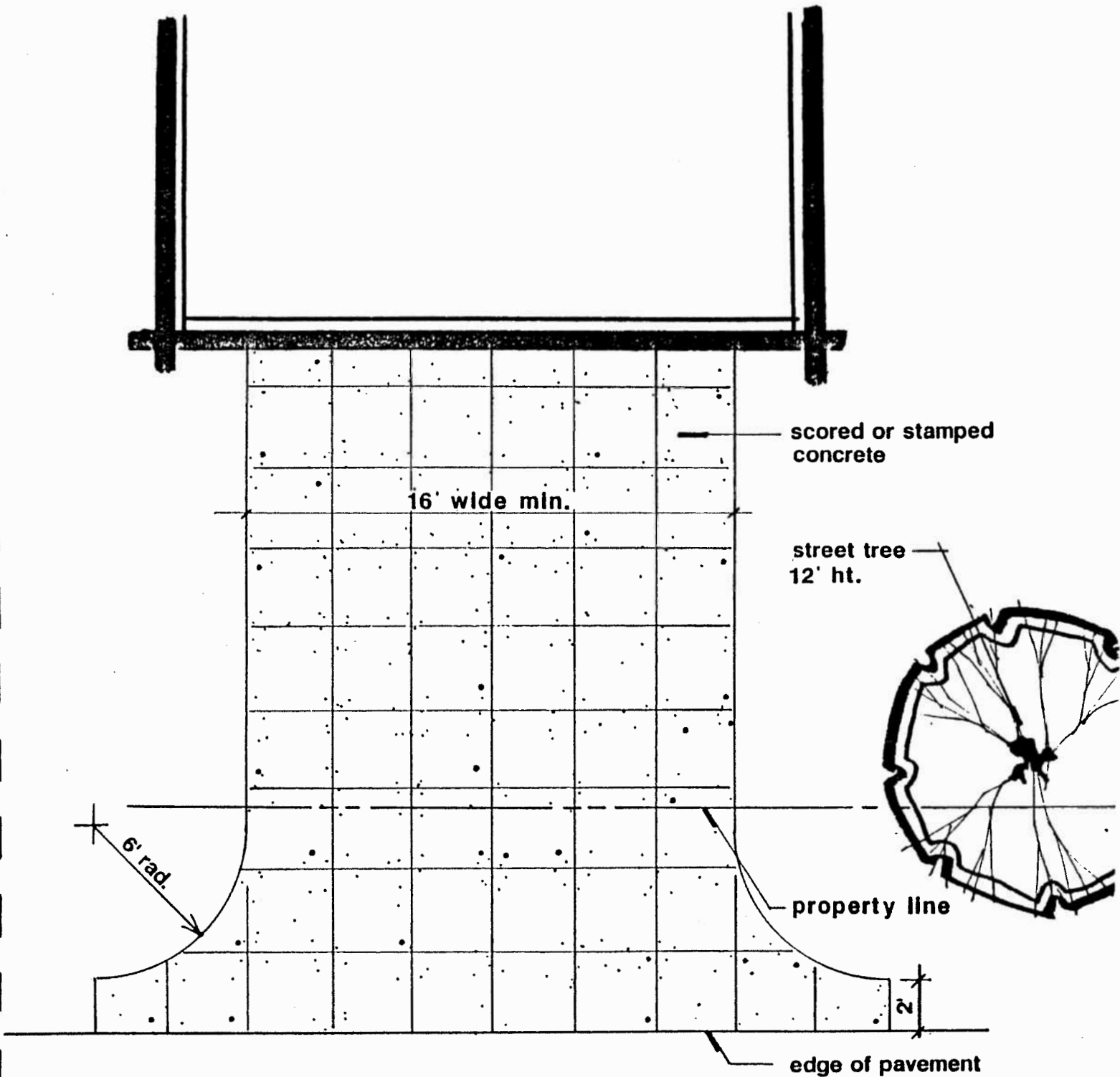


figure 5.01-1

typical driveway flare detail

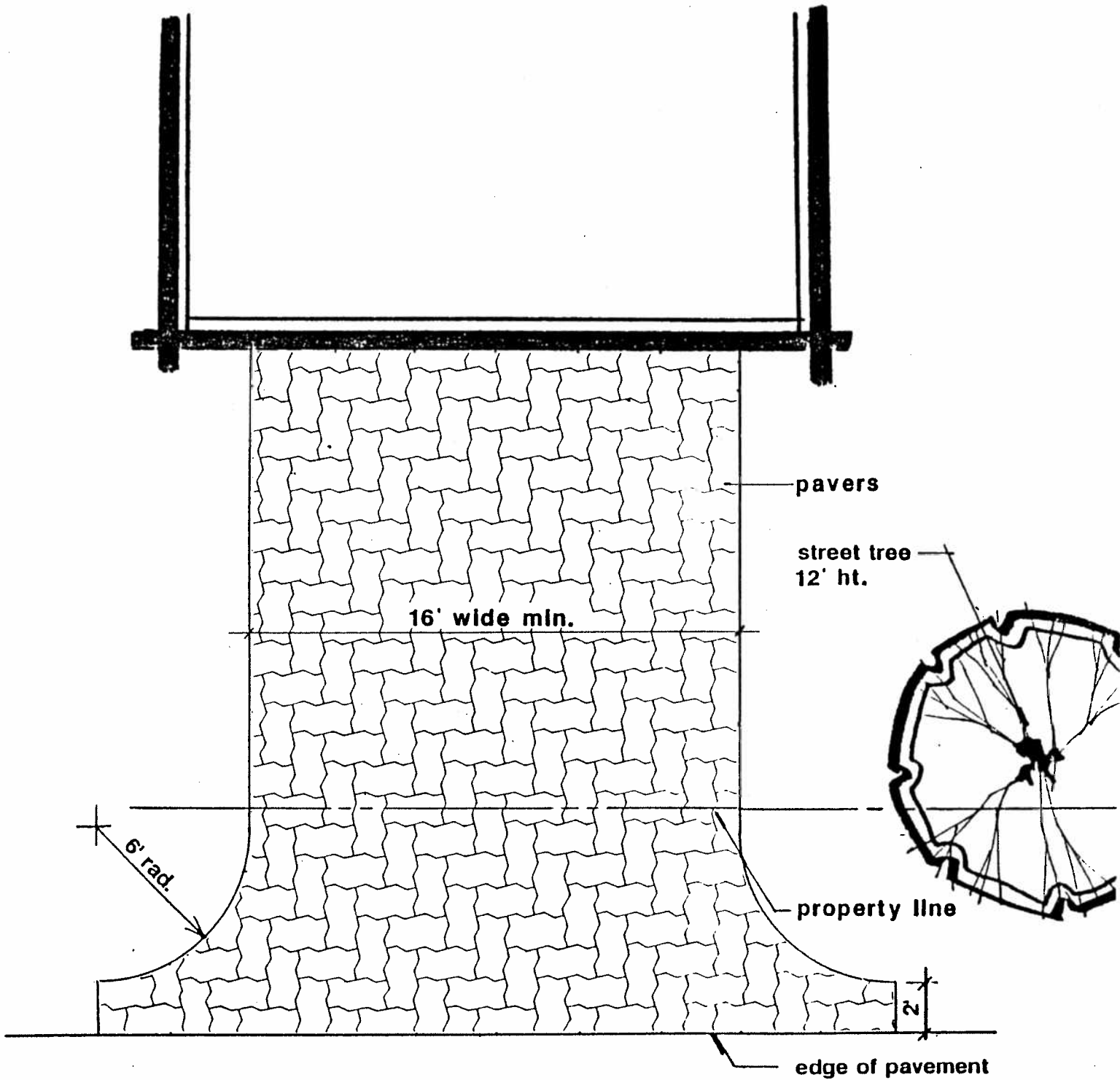


figure 5.01-2

6.0 ARCHITECTURAL CRITERIA

6.1 Minimum Square Footages:

- 6.1.1 Single Story or split level which is not a full two stories shall have a minimum floor area of 2200 square feet of air conditioned space.
- 6.1.2 Single Family - two story shall have a minimum of 1600 square feet of air conditioned space on the first floor and not less than 800 square feet of air conditioned space on the second floor as outlined in Section 8.3 of the Declarations.

6.2 Design Standard

- 6.2.1 Single Family homes shall have a two or three car garage, with side entry whenever possible.
- 6.2.2 Minimum square footages listed are for air conditioned spaces and are exclusive of all garages, porches, terraces, etc. in Section 6.1.
- 6.2.3 All Single Family homes shall be designed and prepared by a currently registered Florida Residential Designer or Florida registered Architect. All plans must be signed and sealed.
- 6.2.4 The same building elevation shall not be constructed within the same line of site or closer than 10 lots whichever is greater.
- 6.2.5 Roof eave overhangs shall be a minimum of one foot and a maximum of three feet.
- 6.2.6 Roof pitch shall not be less than 5" in vertical dimension for each 12" in horizontal dimension.
- 6.2.7 The maximum building height shall not exceed the lesser of 30 feet measured from the finish floor to be highest point of the roof or 2.5 stories.
- 6.2.8 Building setback shall be as defined in Section 3.00

- 6.2.9 Single family homes shall have an enclosed garage with a side entry not facing the street, whenever possible.
- 6.2.9.1 Garages shall not be less than 400 square feet of enclosed space and shall accommodate at least two full size cars.
- 6.2.9.2 Garage doors must be electronically operated.
- 6.2.10 Solar device shall be low profile and installed on the roof only such that said device is NOT visible from the street or front elevation.
- 6.2.11 Skylights may be permitted by the Architectural Review Board providing that such is low profile and is not able to be seen from the front elevation.
- 6.2.12 Vent pipes, turbine fans, etc. Wind driven turbine fans are prohibited. Plumbing and similar through the roof vents shall be painted so as to blend with the roof. Electronically powered ventilators may be permitted by the Architectural Review Board provided that said device is not seen from the street or is designed as an architectural feature, i.e., cupola.
- 6.2.13 Swimming Pools and screened enclosure.
- 6.2.13.1 Setbacks for pools shall be in accordance with Section 3.0.
- 6.2.13.2 Screened enclosures for swimming pools or exterior patios shall be the mansard or hip roof type. Aluminum structure shall be of the same color to match the window frames of the home. Screening shall be of the black/charcoal variety. The use of green screening shall be strictly prohibited.
- 6.2.13.3 Fencing around pools shall be in accordance with all applicable codes and Section 8.0 of this document.

6.3 Use of Materials:

6.3.1 Building Walls:

- o Concrete Block with Stucco (CBS) - sand to medium texture troweled finishes allowed.

- o Wood - vertical board and batt (16" O.C.), horizontal lap siding - stained/painted or preserved (Cedar and Cypress preferred) maximum 8" to weather.
- o Stone - cut coral (or imitation cut coral with Architectural Review Committee approval of specific manufacturer).

6.3.2 Garden Walls:

- o To match or blend with building walls (see building walls for materials allowed).
- o Prefinished aluminum to match finish on windows.
- o Wrought Iron - 5/8" minimum dimension, maximum 6" spacing

6.3.3 Columns, Piers, and Arches:

- o CBS/concrete with base and capital
- o Cut coral (or approved imitation cut coral)
- o Wood with base and capital
- o Cast Iron

*Arches shall be semi-circular and wear free - standing carried on Piers.

6.3.4 Railings:

- o Prefinished aluminum to match finish on windows.
- o Wood (Cedar or Cypress) detailing to be approved by the Architectural Review Board, finish to be painted, stained or preserved.
- o Wrought Iron

6.3.5 Roofs:

- o Cedar Shake - recommended with wood sided units
- o Flat concrete tile
- o Clay barrel tile
- o Clay or concrete Spanish "S" barrel tile - color to be approved by ARB

6.3.6 Gutters:

- o Painted aluminum
- o Copper - natural or painted

6.3.7 Windows and Skylights:

- o Painted aluminum (from Review Board's approved list)
- o Wood - vinyl or aluminum clad

- o Skylights when used, shall be flat type and shall not be visible from the roadway.

*Allowed types of operation of windows are single and double hung, casements, awning (multiple paned awning units allowed on sides and rear only), fixed frame (maximum 36 square feet).

* Windows to be appropriately trimmed with wood or banded with stucco on wood or frame on front elevation.

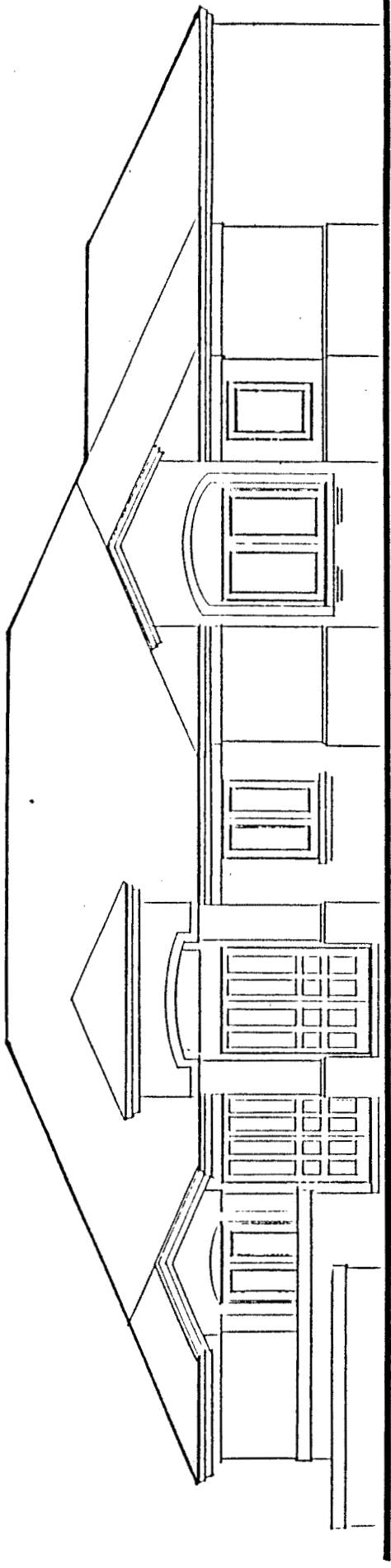
6.3.8 Doors:

- o Painted metal
- o Wood - stained, sealed/varnished or painted.

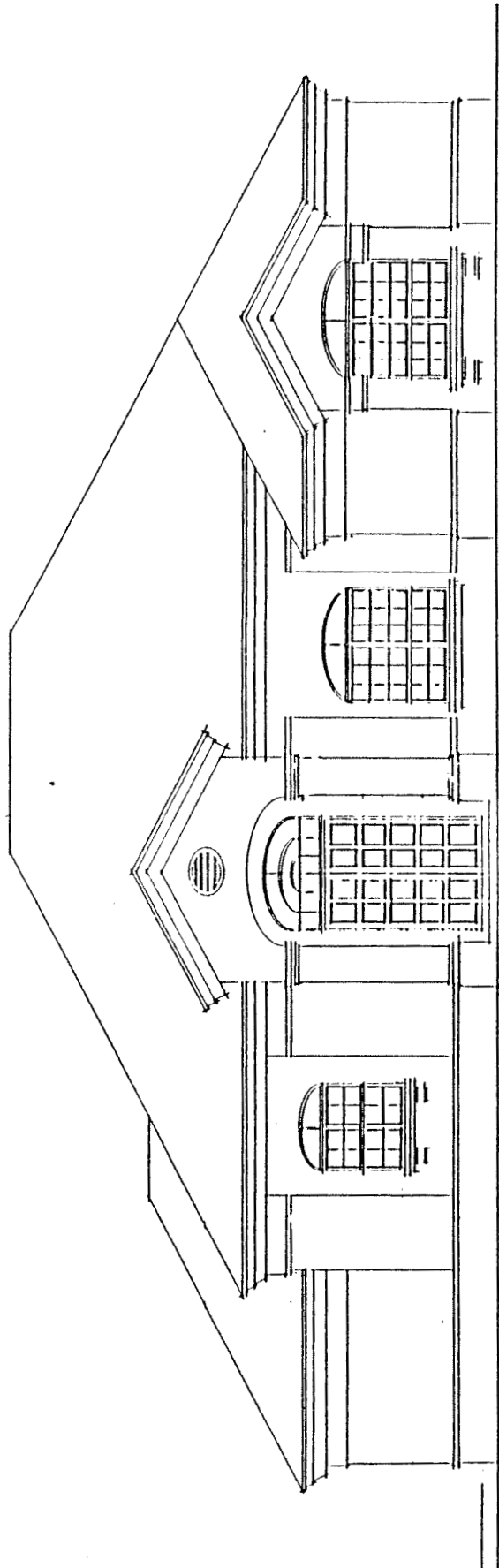
6.3.9 Fencing

6.3.10 Miscellaneous:

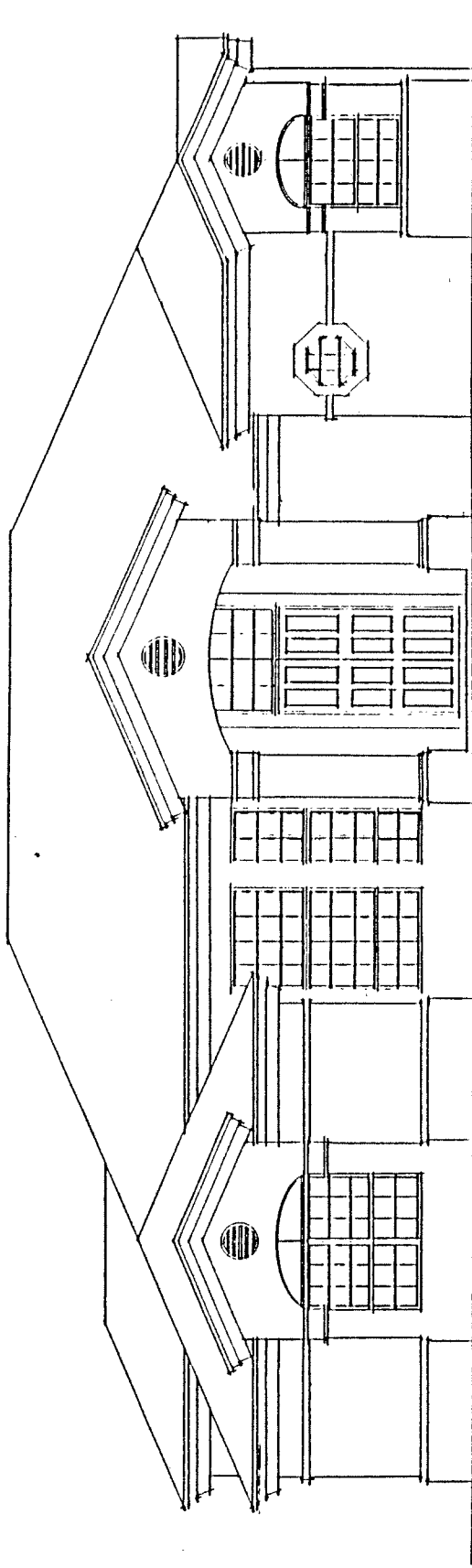
- o Colors - colors to be earth tones (preferably light in color), white or pastels which avoid harsh contrasts with the community.
- o Exterior lighting fixtures - shall be compatible with the Architectural Style of the home.
- o Mailboxes/address lettering and signage shall be of the approved standard for Cypress Cove, see Section 7.
- o All real estate, for sale, or open house signs shall be of the style, size and color required by Section 7 of this document.
- o Garbage cans to be screened with wall or fence.
- o Through wall air conditioning units are prohibited.
- o Operable wood shutters and window boxes are allowed.
- o Satellite dishes, antennas or similar towers are expressly prohibited.



FRONT ELEVATION
example of preferred single family architectural style.



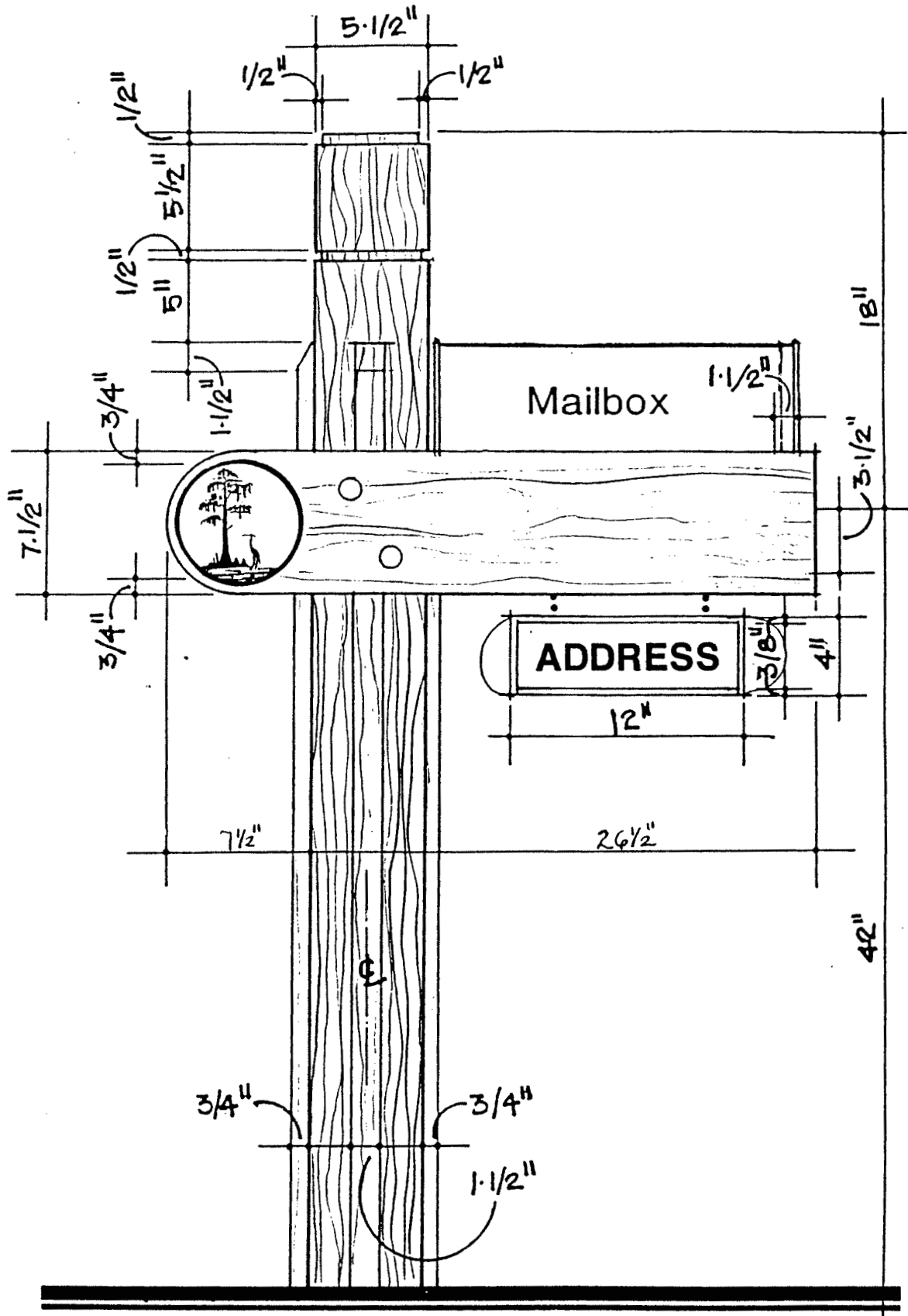
FRONT ELEVATION
example of preferred single family architectural style.



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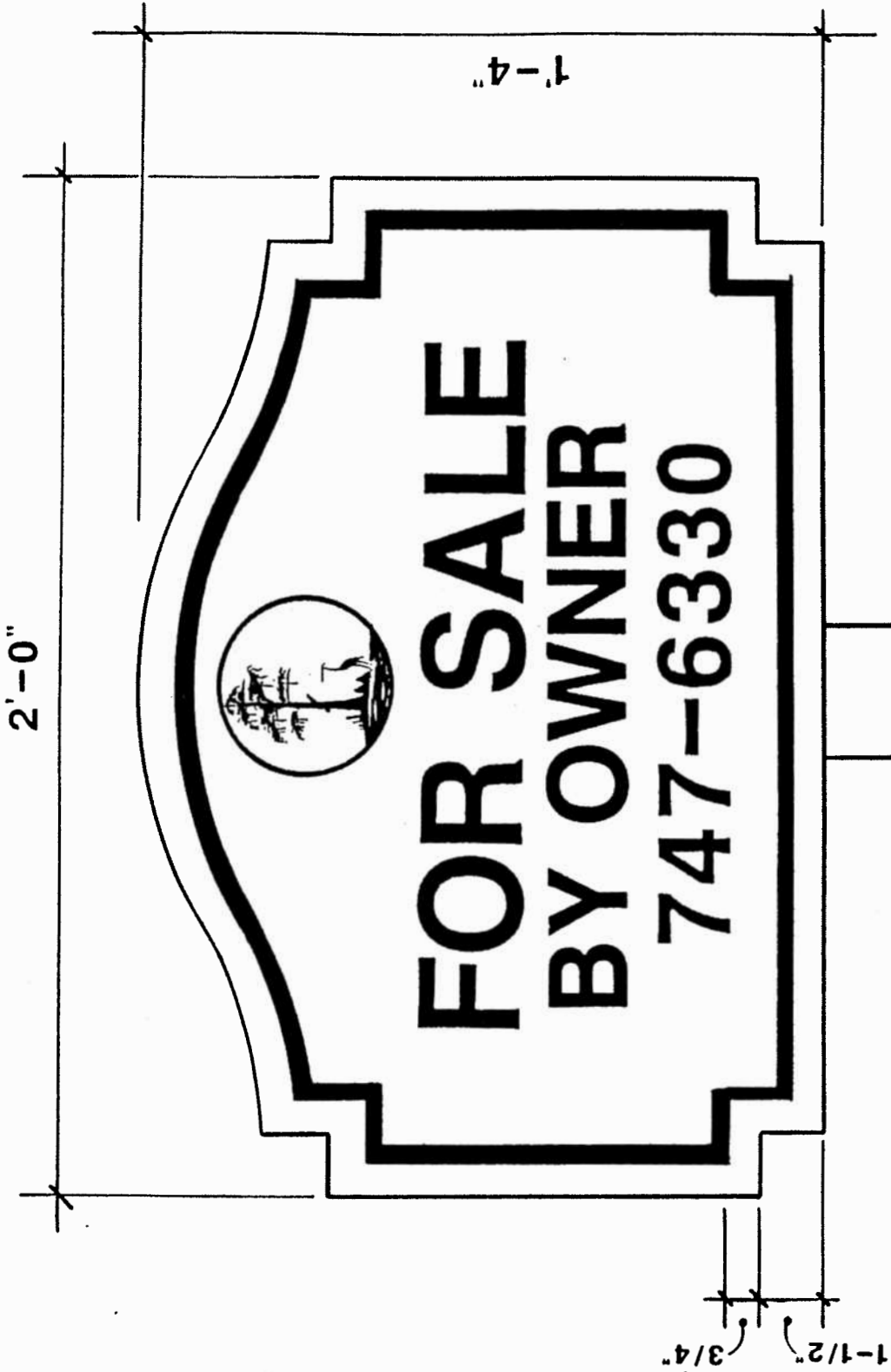
7.0 Graphics and Signs

- 7.1 Street address numbering shall be of the style selected by the Architectural Review Board and shown in figure 7.1 of this section. Street numbers shall be incorporated in the mailbox design for the community. Numbering on the house structure visible from the street shall be in accordance with the Town of Jupiter or other governing agency.
- 7.2 All mailboxes shall be of a standard design selected by the Architectural Review Board. Mailboxes are made available from the Architectural Review Board as outlined in Section 1.04. See figures 7.2-1 and 7.2-2.
 - 7.2.1 No alterations or changes in color or graphics shall be permitted.
 - 7.2.2 Boxes for newspapers or similar use shall be prohibited.
- 7.3 Real estate signs, open house and for sale signs shall be of a uniform size color and graphic design as adopted by the Architectural Review Board. The specifications for such signs are defined in figure 7.3 of this section.
 - 7.3.1 The use of tasteful flags for the purpose of promoting home sales is permitted provided that said flags are taken down by dusk and appropriately stored.



Typical Mailbox Side Elevation

Scale: 1/8" = 1'



Typical Real Estate Sign

Figure 7.3

8.0 Fencing, Walls and Hedges

- 8.1 No fencing, wall or hedge shall exceed six feet in height as measured from the lowest point of finished grade on either side of the fence.
- 8.2 Chain link fence shall be permitted providing it is of the black vinyl coated variety and that a top bar is provided. All exposed ends shall be appropriately wrapped under or around the top bar.
- 8.3 All fencing facing the lakes shall be of the uniform standard adopted by the Architectural Review Board depicted in figure 8.3.
- 8.4 All wood fencing shall be of the shadow box supreme variety constructed of cedar or cypress and containing a top member having a minimum dimension of 2" x 6". Cedar fences shall not be left exposed but be stained or painted to blend or match with the structure. Cypress fences may be left natural.
- 8.5 No fencing or wall shall protrude frontal of the leading edge of the house slab.

DEH/cf
DEH#25:cypress2

CYPRESS COVE RECOMMENDED LANDSCAPE PLANT LIST

<u>BOTANTICAL NAME</u>	<u>COMMON NAME</u>	<u>RECOMMENDED PLANTING SIZES</u>	<u>SPACING</u>
TREES			
Acer Rubrum	Red Maple	10-12' O.A.	A.S.
Cupianopsis Anacardioides	Carrotwood	10-12' O.A.	A.S.
Eriobotrya Japonica	Loquat	8-10' O.A.	A.S.
Magnolia Grandiflora	Southern Magnolia	12-14' O.A.	A.S.
Quercus Laurifolia	Laurel Oak	12-14' O.A.	A.S.
Quercus Virginiana	Live Oak	12-14' O.A.	A.S.
Pinus Elliotti	Slash Pine	10' O.A.	A.S.
ORNAMENTALS			
Ilex Cassine	Dahoon Holly	10-12' O.A.	A.S.
Callistemon Viminalis	Weeping Bottlebrush	8-10' O.A.	A.S.
Psidium Litorale	Guava	#7, 4-6' O.A.	A.S.
Lagerstroemia Indica	Crepe Myrtle	4' O.A.	A.S.
Ligustrum Japonicum	Ligustrum	6-8' O.A.	A.S.
Myrica Cerifera	Southern Wax Myrtle	8' O.A.	A.S.
Nerium Oleander Standard	Oleander		
PALM TREES			
Arecastrum Romanzoffianum	Queen Palm	8-16' O.A.	A.S.
Phoenix Canariensis	Canary Island Date Palm	8' C.T.	A.S.
Sabal Palmetto	Sabal Palm	8-18' C.T.	A.S.
Washingtonia Robusta	Washington Palm	8-18' C.T.	A.S.
Phoenix Dactylifera	Dactyliferus Palm	6-8' C.T.	A.S.
Phoenix Roebellinii	Pygmy Date Palm	4-5' O.A.	A.S.

CLUMP PALMS

Acoelorrhaphe Wrightii			
Phoenix Reclinata			
	Paurotis Palm	10-12' O.A.	A.S.
	Senegal Date Palm	10-12' O.A.	A.S.

ACCENTS

Chamerops Humilis	European Fan Palm	40" O.A.	5' O.C.
Crinum Asiaticum	Crinum Lily	#5, 36" O.A.	36" O.C.
Cycas Revoluta	King Sago Palm	#7, 24" O.A.	30" O.C.
Phoenix Roebellenii	Pigmy Date Palm	4-5' O.A.	5' O.C.
Strelitzia Regina	Bird of Paradise	#7, 30" O.A.	36" O.C.
Trachycarpus Fortunei	Windmill Palm	3-8' O.A.	36" O.C.

SHRUBS

Feijoa Sellowiana	Pineapple Guava	#3, 24" O.A.	24" O.C.
Myrica Cerifera	Southern Wax Myrtle	4' x 4'	4' O.C.
Pittosporum Tobira "Variegatum"	Variegated Pittosporum	#3, 18" O.A.	30" O.C.
Photina Glabra	Photina	#3, 18" O.A.	30" O.C.
Raphiolepis Indica "Majestic Beauty"	Majestic Beauty Indian Hawthorne	#3, 18" O.A.	30" O.C.
Rhododendron Obtusum	Kurume Azalea	#3, 2' O.A.	24" O.C.
Eleagnus Pungens	Silverthorn	#3, 24" O.A.	30" O.C.
Viburnum Odoratissimum "Awabuki"	Viburnum Awabuki	#3, 24" O.A.	36" O.C.
Viburnum Suspensum	Sandankwa Viburnum	#3, 24" O.A.	24" O.C.
Ixora 'Nora Grant'	Pink Ixora	#3, 24" O.A.	24" O.C.

GROUND COVER

Agapanthus spp	Agapanthus	#3, 24" O.A.	24" O.C.
Ilex Vomitoria "Schillings"	Dwarf Yaupon Holly	#1, 12" O.A.	18" O.C.
Jasmine Multiflorum	Star Jasmine	#3, 18" O.A.	30" O.C.
Hemerocallis Spp	Day Lily	#1, 12" O.A.	12" O.C.
Liriope Muscari "Evergreen Giant"	Liriope "Evergreen Giant"	#1, 12" O.A.	18" O.C.

Pittosporum Tobira "Wheeleri"
Raphiolepis Indica
Zania Floridaana

Dwarf Pittosporum
Indian Hawthorne
Florida Zania

#3, 18" O.A.
#3, 18" O.A.
#3, 18" O.A.

24" O.C.
24" O.C.
24" O.C.

ABBREVIATIONS:

C.T. Clear Trunk
O.C. On Center
O.A. Overall Height
A.S. As Shown Spacing
#1, #3, #7, #15 = container size

CERTIFICATE OF THE FIRST AMENDMENT TO THE DECLARATION OF COVENANTS AND RESTRICTIONS FOR CYPRESS COVE OF JUPITER

ORB 6799 Pg 374

WHEREAS, the Declaration of Covenants and Restrictions for Cypress Cove of Jupiter was recorded on September 20, 1990 in Official Record Book 6587, Page 957, Public Records of Palm Beach County, Florida;

WHEREAS, Section 15.5.A of the Declaration provides that the Declaration may be amended by the vote of the Developer alone so long as the Developer controls the Board of Directors as provided for in the By-Laws of the Association;

WHEREAS, the Developer currently controls the Board of Directors of the Association as provided for in the By-Laws;

WHEREAS, the Developer desires to amend the Declaration in the particulars as set forth in Exhibit "1" to this Certificate; the Association consents as well.

WHEREAS, this Certificate, the amendments and the Association's consent shall be recorded in the Public Records of Palm Beach County, Florida;

NOW, THEREFORE, the Declaration is hereby amended in the particulars as stated in Exhibit "1" attached hereto; these amendments shall run with the real property known as Cypress Cove of Jupiter and shall be binding on all parties having any right, title, or interest in the said real property or any part thereof, their heirs, successors and assigns, and shall inure to the benefit of each owner thereof; and except as otherwise amended hereby, the Declaration shall remain unchanged and in full force and effect.

CERTIFICATE OF ADOPTION OF AMENDMENTS

WE HEREBY CERTIFY that the Amendments attached to this Certificate have been approved by the Developer.

DATED this 19 day of APRIL, 1991.

WITNESSES:

Mary K. Conway
Conna Cameron

CYPRESS COVE OF JUPITER, INC.

Robert M. Hartman
President:
Jan B. Hartman
Secretary:

THIS INSTRUMENT PREPARED BY:
LEVINE AND FRANK, P.A.
3300 PGA Boulevard, Suite 800
Palm Beach Gardens, Florida 33410
(407) 626-4700

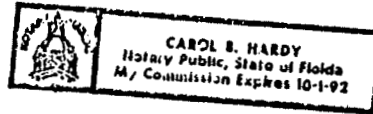
STATE OF FLORIDA)
) SS
COUNTY OF PALM BEACH)

I HEREBY CERTIFY that on this 19th day of April, 1991, before me personally appeared Esther M. Hartman, President and JERRY B. HARTMAN, Secretary of CYPRESS COVE OF JUPITER, INC., a Florida Corporation, to me known to be the individuals and officers described in and who executed the aforesaid Certification as their free acts and deeds as such duly authorized officers; and that the official seal of the Corporation is duly affixed and the instrument is the act and deed of the Corporation.

WITNESS my signature and official seal at Palm Beach Gardens in the County of Palm Beach, State of Florida, the day and year last aforesaid.

Carol B Hardy
NOTARY PUBLIC, State of Florida at Large
My Commission Expires:

CYPRESS\cert.amd



JOINER AND CONSENT BY
CYPRESS COVE OF JUPITER HOMEOWNERS ASSOCIATION, INC.

The Cypress Cove of Jupiter Homeowners Association, Inc.
consents to the Declaration amendments adopted by the Developer,
as are attached to this Certificate as Exhibit "1".

Witnesses:

Mary D. Conroy
Donna Cameron

CYPRESS COVE OF JUPITER
HOMEOWNERS ASSOCIATION, INC.

By: Esther M. Hartman
President

STATE OF FLORIDA)
) ss
COUNTY OF PALM BEACH)

I HEREBY CERTIFY that on this 19th day of April,
1991, before me personally appeared ESTHER M. Hartman President of
CYPRESS COVE OF JUPITER HOMEOWNERS ASSOCIATION, INC. a Florida
not-for-profit Corporation, to me known to be the individuals and
officers described in and who executed the aforesaid
Certification as their free acts and deeds as such duly
authorized officers; and that the official seal of the
Corporation is duly affixed and the instrument is the act and
deed of the Corporation.

WITNESS my signature and official seal at Palm Beach Gardens,
in the County of Palm Beach, State of Florida, the day and year
last aforesaid.

Carol S Hardy
NOTARY PUBLIC, State of Florida
at Large
My Commission Expires:

CYPRESS\joinder

